



**PLANNING COMMISSION  
STAFF REPORT  
SUPPLEMENTAL**

**Prepared by:** Kevin L. Small, AICP, RLA  
**Date:** June 12, 2025  
**Meeting Date:** July 3, 2025                      **Case No. 5P-25-01-SD/SP/LP 2<sup>nd</sup> Continuance**

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**General Information**

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***Applicant:*** J. Nguyen Lam, LLC.

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***Owner/Operator:*** J. Nguyen Lam LLC.

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***Status of Applicant:*** Owner / Developer

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***Location:*** 102 N. Bond Street

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***Lot/Building Size:*** The development site is 15,000 square feet with no structures

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***Requested Action:*** The Applicant requests approval for Site Plan and Landscape Plan for a one story 3,300 sf building for a restaurant and nail salon. The applicant also requests approval of a Special Development for Outdoor Dining and is asking for a waiver to provide stacked parking.

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***Zoning:*** B-3A, General Business Gateway District

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***Existing Land Use:*** 102 N. Bond is undeveloped (former residence razed several years prior)

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***Landscaping,  
Lighting &  
Amenities:***

A Landscape Plan and Photometric Plan was submitted for review.

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***Architectural Review:***

Architectural elevations have been submitted for review. Comments from the Town architectural consultant are attached.

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**Analysis:**

This application was reviewed by the Planning Commission on May 1, 2025 and June 5, 2025. The applicant was requested to revise the Site Plan, Landscape Plan and the Architectural Elevations based on concerns outlined in the attached letter dated May 2, 2025 and the subsequent letter dated June 6, 2025. The initial request for approval was for a 3,300 square foot one-story commercial building to be constructed on a 15,000 square foot vacant lot in the B3A (General Business Gateway) zoning district for a restaurant and nail salon remains unchanged. Associated with the restaurant use, a special development for outdoor dining is requested. A waiver for stacked parking is also requested.

**SITE & ARCHITECTURE**

The proposed building will contain a 2,200 square foot restaurant and a 1,100 square foot nail salon which both are both permitted uses in the B-3A zone per Table 3-7, Service Uses and are subject to applicable code requirements. These requirements are addressed in the performance standards attached to the application. Together, both uses require 22 parking spaces. Twelve (12) spaces are required for the 36-seat restaurant and ten (10) spaces are required for the five (5) station nail salon. The developer is proposing 23 spaces accessed from Alice Anne Street. The original site and landscape plan dates remain on the plan and revision dates have been provided.

Of the total 23 proposed parking spaces, sixteen (16) spaces are proposed to be tandem or stacked spaces. Section 165-51.F(1)(e) assigns the Planning Commission to review and approve stacked parking provided there is no adverse impact on the proposed use or circulation. The applicant has proposed to stencil the parking spaces as ‘employee’ and ‘customer’ and provide signage related to the allocated along with a chain barrier for employee parking to mitigate impacts from the stacked arrangement.

The building footprint is now proposed to be located seven (7) feet from the N Bond Street right-of-way and ten (10) feet from the adjacent historically designated property (108 N Bond Street). This revised footprint location appears to provide a reasonable buffer and a setback consistent with the adjacent property.

The applicant has provided an enlarged version of the existing and proposed parking spaces along Alice Anne Street resulting in five (5) metered spaces and one non-metered space. This arrangement results in a loss of one non-metered space. However, the existing spaces did not meet the current code, and the proposed spaces will meet applicable requirements. Relocation of meters, striping of the new spaces and any re-paving of Alice Anne Street is the responsibility of the applicant.

A concrete walkway on the north side of the proposed building will remain based on coordination with the adjacent property owner. One of the access walks to the refuse/recycling enclosure has been removed. The proposed storm drainpipe has been re-aligned to reduce impact to the existing trees along Bond Street.

The applicant has included several colored elevations of the development indicating a revised version of the proposed architecture presented on May 1, 2025 and subsequently on June 5, 2025. These elevations and renderings have been provided to the Town architectural consultant for review and his comments are attached. The adjacent Historically Designated property (108 N Bond Street, HA-1349 – Norris House) requires adherence to Section 165-24.E, Section 165-41.A(6) and Section 165-53.B(1)(i) which are attached to this report.

### SPECIAL DEVELOPMENT

Outdoor Dining is proposed at the corner of N Bond Street and Alice Anne Street associated with the restaurant use. The exterior dining capacity cannot exceed 27 seats (75% of the interior seats) without additional parking. The dining area is considered seasonal and cannot be enclosed without additional parking provided. Performance Standards found in Section 165-53.I(2)(i) apply. The applicant has graphically shown the location of tables and chairs on the Site Plan.

### LANDSCAPE

Two shade trees have been relocated to Alice Anne Street.

Compliance with Section 165-45.B(2) Woodland Areas and Unique Vegetation is required. Nine (9) additional trees are required to satisfy the code regarding the removal of specimen trees. Fee-in-Lieu is proposed in the amount of \$3,600 to satisfy the mitigation requirement.

**Recommendations:**

Comprehensive Plan

The Planning Commission provide a 2022 Comprehensive Plan consistency determination for the proposed development as required by Town Code § 165-19.

Site Plan

At a minimum, approval of the Site Plan is conditioned on the following:

1. Prior to Building Permit Application, submission of a Final Site Plan for signature incorporating comments from this staff report, and comments from:
  - a. Harford County Health Department comments pending.
  - b. Harford County Soil Conservation District comments dated April 21, 2025.
  - c. Bel Air Public Works comments dated April 22, 2025.
  - d. Bel Air architectural consultant comments dated June 25, 2025.
  - e. Maryland Department of Transportation comments pending.
2. Coordination with Public Works Department regarding site access, on-street parking, and meter locations on Alice Anne Street shall be indicated on the Final Site Plan.
3. Approval of 16 stacked spaces as shown on the revised Site Plan

Landscape Plan

At a minimum, approval of the Landscape Plan is conditioned on the following:

1. Prior to Building Permit issuance, submission, and approval of the Final Landscape Plan incorporating comments from the staff report.
  - a. Provision of Fee-in-Lieu in the amount of \$3,600 for Woodland Areas and Unique Vegetation mitigation must be provided prior to building permit issuance.

Special Development

Approval of a Special Development for an Outdoor Dining/Bar service use is based upon the following findings of fact that the applicant has adequately demonstrated that the proposed dining area meets the following performance standards as provided in Section 165-53.I(2)(i):

- a. Amplified music or public address are not permitted between 9pm and 9am.
- b. Live entertainment and recreational games are not permitted between 9pm and 9am.
- c. Outdoor dining/bar must adhere to the requirements of Chapter 345 of the Town Code.

- d. The exterior area is limited to 75% of the capacity of the principal permitted use. Any temporary enclosure must meet the provisions of Section 165-71.C.
- e. No physical bar for the service of alcohol is proposed under this application. Alcohol consumption or service must be approved by the Harford County Liquor Board.



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Kevin L. Small, RLA, AICP  
Director of Planning & Community Development

***Attachments***

Revised Site Plan  
Revised Landscape Plan  
Revised Architectural Elevations  
Architectural consultant letter



# TOWN OF BEL AIR

## DEPARTMENTS OF PLANNING AND PUBLIC WORKS

705 E. CHURCHVILLE ROAD  
BEL AIR, MARYLAND 21014  
www.belairmd.org

PLANNING [410] 879-9500  
PUBLIC WORKS [410] 879-9507  
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### BOARD OF COMMISSIONERS

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June 6, 2025

J. Nguyen Lam, LLC.  
Attn: Han Nguc Lam  
2005 Duke Street  
Fallston, MD 21047

Re: Restaurant w/Outdoor Dining and Nail Salon  
Case #05P-25-01-SD/SP – 2<sup>nd</sup> Continuance

The Bel Air Planning Commission reviewed your request for approval of a 1,100 square foot nail salon and a 2,200 square foot restaurant during their regularly scheduled meeting on June 5, 2025. With your concurrence, a continuance of the hearing regarding a Special Development, Site Plan, Landscape Plan approval and waiver for stacked parking of 16 spaces to the next regularly scheduled meeting on July 3, 2025 was approved. The Planning Commission continued the hearing to allow you to revise the submission based on comments in the staff report, consultant comments and supplemental remarks at the hearing. Please revise the Site Plan, Landscape Plan and Architectural Elevations based on the following:

### Site Plan

Please address the following issues:

1. Agency comments
  - a. Harford County Health Department comments pending.
  - b. Harford County Soil Conservation District comments dated April 21, 2025.
  - c. Bel Air Public Works comments dated April 22, 2025.
  - d. Bel Air architectural consultant comments dated May 26, 2025 – please revise the architectural elevations and date the drawings appropriately.
  - e. Maryland Department of Transportation comments pending
2. Removal of concrete walk on the west side access to the refuse/recycling enclosure.
3. Relocation of storm drain connection to avoid existing street trees.
4. Adjust the location of the proposed building to be a minimum of ten (10) feet from the north property line.

5. Inclusion of revised site access design, proposed on-street parking locations, and proposed meter locations on Alice Anne Street as shown on the Exhibits 1 & 2 dated May, 15, 2025. Please correct the proposed spaces to show five (5) metered spaces and indicate the proposed striping within the pavement section of Alice Ann Street. Add a note that the developer will be re-striping the on-street parking, replacing disturbed road paving, and relocating the meters under supervision of the Department of Public Works.
6. Clearly show a concrete walk connection from the walk fronting the proposed parking to the sidewalk along Alice Ann Street on the Site Plan.
7. Revise the plans and elevations to show the original plan date, the first revision date and the second revision date.
8. Revise the waiver request on the Site Plan to state 16 stacked spaces as shown on the revised Site Plan.
9. Note the proposed placement of freestanding signs or stanchions with chain link to differentiate the employee spaces and encourage the use of stacked parking by the public.
10. Add a bike rack to the Site Plan.
11. Expand on odor control from the nail salon in the performance standard annotation.

### Landscape Plan

Please address the following issues:

1. Prior to Building Permit issuance, submission, and approval of the Final Landscape Plan incorporating comments from the staff report.
  - a. Note regarding the provision of Fee-in-Lieu in the amount of \$3,600 for Woodland Areas and Unique Vegetation obligation.
  - b. Relocate two proposed shade trees from Bond Street to Alice Anne Street.

### Special Development

Please note the following on the Site Plan in accordance with Section 165-53.I(2)(i):

- a. Amplified music or public address are not permitted between 9pm and 9am
- b. Live entertainment and recreational games are not permitted between 9pm and 9am
- c. Outdoor dining/bar will adhere to the requirements of Chapter 345 of the Town Code
- d. The exterior area is limited to 75% of the capacity of the principal permitted use. Any temporary enclosure must meet the provisions of Section 165-71.C. Graphically show tables and chairs on the proposed patio not exceeding 27 seats assuming a maximum of 36 seats within the interior of the restaurant.
- e. No physical bar for the service of alcohol is proposed. Alcohol consumption or service in the outdoor area must be approved by the Harford County Liquor Board.

J. Nguyen Lam, LLC.  
June 6, 2025

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The next submission date for the Planning Commission is COB June 12, 2025, for the July 3rd Planning Commission meeting. Any submission after that date will be in accordance with the standard meeting schedule. Should you have any questions, please call the Department of Planning.

Sincerely,



Kevin L. Small, AICP, RLA  
Director of Planning & Community Development

cc Edward Hopkins, Town Administrator  
Bel Air Planning Commission  
Bel Air Board of Town Commissioners  
Elizabeth Thompson, Town Counsel  
Kate Pierce, FWA  
file

## **CODE REFERENCE RELATED TO DEVELOPMENT ADJACENT TO HISTORICALLY DESIGNATED PROPERTIES**

SECTION 165-24.E Infill development shall be designed to ensure sensitive integration of new development with historic structures and the architectural context in the neighborhood.

SECTION 165-41.A(6) Demolition of historic structures should be avoided. If no other option is available, the property owner should try to relocate the building. Any new construction should be compatible in color, size, materials and mass with any adjacent historic structures.

SECTION 165-53.B(1)(i) Proposed development adjoining historic structures or sites shall be compatible in color, size, material and mass with such historic properties.



5 South Main Street  
P.O. Box 727  
Bel Air, Maryland 21014  
410-838-7900

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June 12, 2025

Town of Bel Air  
Kevin Small, AICP, RLA  
705 E. Churchville Road  
Bel Air, MD 21014

Re: Restaurant w/ Outdoor Dining and Nail Salon  
Case # 05P-25-01-SD/SP  
Project Number: 2141112.02

Dear Mr. Small:

Frederick Ward Associates has reviewed the comments for 102 N Bond Street Site Plan and Landscape Plan continuance letter issued on **May 2, 2025** and provide the following responses:

Site Plan

1. Comments from the April 24, 2025 staff report, and from:
  - a. Harford County Health Department comments pending  
**N/A.**
  - b. Harford County Soil Conservation District comments dated April 21, 2025  
**Understood.**
  - c. Bel Air Public Works comments dated April 22, 2025  
**Spot elevations and handicap ramps have been added.**
  - d. Bel Air architectural consultant comments dated April 24, 2025  
**Architectural consultant comments have been addressed.**
  - e. Maryland Department of Transportation comments pending  
**N/A.**
2. Removal of concrete walk on the west side of access to the refuse/ recycling enclosure.  
**Concrete walk on the west side of access to refuse/ recycling enclosure has been removed.**
3. Relocation of stormdrain connection to avoid existing trees.  
**Stormdrain connection has been relocated to avoid existing trees.**
4. Adjust the location of the proposed building to be a minimum of ten (10) feet from the north property line.  
**The building has been adjusted to be 10' from the northern property line.**



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5. Inclusion of the revised site access design, proposed on-street parking locations, and proposed meter locations on Alice Anne Street as shown on Exhibits 1 & 2 dated May 15, 2025. Please correct the proposed spaces to show five (5) metered spaces and indicate the proposed striping within the pavement section of Alice Ann Street. Add a note that the developer will be re-striping the on-street parking, replacing disturbed road paving, and relocating the meters under supervision of the Department of Public Works.  
***A second sheet (SP02) has been added to the site plan to show the revised site access design, proposed on-street parking locations, and proposed meter locations on Alice Anne Street.***  
  
***Note 23 on the first page of the site plan (SP01) notes that the developer will be re-striping the on-street parking, replacing disturbed road paving, and relocating the meters under supervision of the Department of Public Works.***
6. Clearly show a concrete walk connection from the walk fronting the proposed parking to the sidewalk along Alice Ann Street on the Site Plan.  
***A connection from the proposed parking to the existing sidewalk along Alice Ann Street is shown. It is jogged to avoid an existing pole.***
7. Revise the place and elevations to show the original plan date, the first elevation date and the second revision date.  
***Dates have been revised to reflect the original submission date and revision dates.***
8. Revise the waiver request on the Site Plan to state 16 stacked spaces as shown on the site plan.  
***The waiver request has been revised.***
9. Note the proposed placement of freestanding signs or stanchions with chain link to differentiate the employee spaces and encourage the use of stacked parking by the public.  
***Signs and stanchions with chain have be labeled and noted on the site plan.***
10. Add a bike rack to the plan  
***A bike rack has been added along Bond Street near the proposed patio.***
11. Expand on odor control from the nail salon in the performance standards notation.  
***Exhaust system for the nail salon shall be provided with a source capture system capable of existing not less than 50 cfm per station per the 2021 International Mechanical Code.***



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#### Landscape Plan

1. Prior to building permit issuance, submission and approval of the Final Landscape Plan incorporating comments from the staff report.
  - a. Note regarding the provision of Fee-in-Lieu in the amount of \$3,600 for Woodlands Areas and Unique Vegetation obligation.  
**Note is on the Landscape Plan.**
  - b. Relocate two proposed shade trees from Bond Street to Alice Anne Street.  
**The two trees have been relocated along Alice Ann Street.**

#### Special Development

The following notes have been added to the first page of the site plan (SP01).

- a. **Amplified music or public address are not permitted between 9pm and 9am.**
- b. **Live entertainment and recreational games are not permitted between 9pm and 9am.**
- c. **Outdoor dining/ bar will adhere to the requirements of chapter 345 of the town code.**
- d. **The exterior area is limited to 75% of the capacity of the principal permitted use. Any temporary enclosure must meet the provisions of section 165-71.c.**
- e. **No physical bar for the service of alcohol is proposed. Alcohol consumption or service in the outdoor area must be approved by the Harford County Liquor Board.**

If you have any addition comments or questions please do not hesitate to reach out.

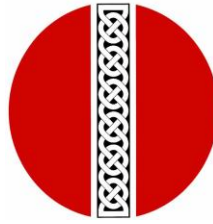
Sincerely,

FREDERICK WARD ASSOCIATES, INC.

Thomas Miner, PE, CCM  
Vice President

# Paul D. Edmeades

ARCHITECT / PLANNER  
AIA



Town of Bel Air  
Department of Planning & Community Development  
Mr. Kevin L. Small, Director  
705 E. Churchville Road  
Bel Air, Maryland 21014

June 26, 2025

RE: Third Design Review  
102 North Bond Street  
Construction of New Restaurant and Nail Salon

Dear Mr.Small:

The following is a response to your request to do a third review of the design aspects of the submittal for a proposed mixed-use building at 102 North Bond Street. The documents I received are as follows:

1. Site Plan: SP01 Drawing 1 of 2: 102 North Bond Street prepared by Frederick Ward Associates and received June 12, 2025
2. Site Plan: SP02 Drawing 2 of 2: 102 North Bond Street prepared by Frederick Ward Associates and received June 12, 2025
3. First Floor Plan: 102 North Bond Street prepared by Frederick Ward Associates and dated June 12, 2025
4. First Floor Plan- Proposed Interior: 102 North Bond Street prepared by Frederick Ward Associates and dated June 12, 2025
5. East and South Elevations: 102 North Bond Street prepared by Frederick Ward Associates and dated June 12, 2025
6. West and North Elevations: 102 North Bond Street prepared by Frederick Ward Associates and dated June 12, 2025
7. Front Perspective: 102 North Bond Street prepared by Frederick Ward Associates and dated June 12, 2025
8. Rear Perspective: 102 North Bond Street prepared by Frederick Ward Associates and dated June 12, 2025
9. Enclosed Dumpster Plans and Elevations: 102 North Bond Street prepared by Frederick Ward Associates and dated June 12, 2025
10. Enclosed Dumpster Renderings: 102 North Bond Street prepared by Frederick Ward Associates and dated June 12, 2025

The proposed development involves the construction of a one story mixed use building at 102 North Bond Street on an existing vacant site. The building will house a nail salon and a restaurant with an outside patio area. The building is a combination of Brick and Fiber Cement Siding material. The building is designed to create higher building masses at each corner of the building to anchor and modulate the building composition. In between the corner masses the building walls are set back to further modulate the walls and emphasize the higher corner elements. The overall concept of this project is consistent with the Comprehensive Plan and the Town of Bel Air Development Regulations.

In my analyses on April 24, 2025 and May 26, 2025 I raised issues about the setbacks of the building from Bond Street and the setback from the adjacent historic structure to the North. I also raised issues about the canopy design and the color of the Hardie Board wall material.

It appears that the issue of the setback from Bond Street has been addressed. The building has been moved back from Bond Street to align with the historic building to the north. In addition, the June 12<sup>th</sup> submission increases the setback along the north property line adjacent to the historic structure as requested in my previous comments.

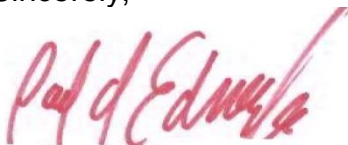
It also appears that the issue of the canopy design and color has been addressed. It is now compatible with the canopy and color of the canopy on the historic structure to the north. The color of the main wall material is now indicated as a lighter color which better harmonizes the building with the historic structure to the north.

Based on my analysis, I feel that the proposed mixed use development of 102 North Bond Street complies with the Town of Bel Air Development Regulations. The changes made in the design of the project have improved the design. I feel that the construction of this project will be an asset to Bel Air and especially along North Bond Street.

Please note that these comments concern only the visual aspects of the design proposal submitted. Other requirements of the development regulations are not a part of this review. All building code analyses, life safety code analyses, other code analyses, and constructability analyses are specifically excluded from this visual review. In addition this review does not include structural, mechanical, electrical, plumbing or other engineering services.

If you have any questions please call me.

Sincerely,



Paul D. Edmeades, RA, AIA, NCARB