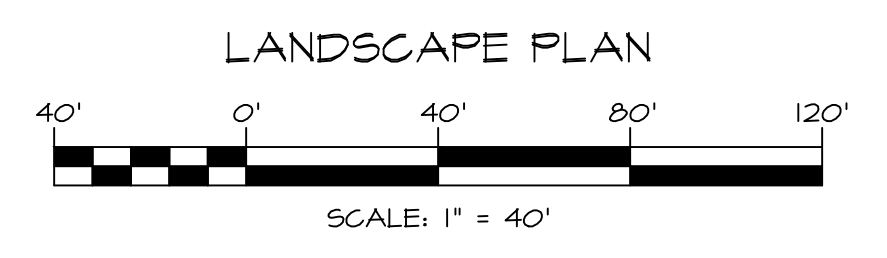


LEGEND

[Symbol]	PROPERTY LINE
[Symbol]	PROPERTY BOUNDARY
[Symbol]	RIGHT-OF-WAY LINE
[Symbol]	CORPORATION LINE
[Symbol]	BUILDING SETBACK
[Symbol]	EX CONTOURS
[Symbol]	EX EASEMENT
[Symbol]	EX HANDRAIL
[Symbol]	EX EDGE OF VEGETATION
[Symbol]	EX CHAIN LINK FENCE
[Symbol]	EX MOOD FENCE
[Symbol]	EX EDGE OF PAVING/CURB
[Symbol]	EX OVERHEAD LINES
[Symbol]	EX SANITARY LINES
[Symbol]	EX WATER LINES
[Symbol]	EX STORM DRAIN LINES
[Symbol]	EXISTING GAS
[Symbol]	SOIL BOUNDARY
[Symbol]	EX EASEMENT
[Symbol]	EX BUILDING
[Symbol]	EX UTILITY POLE
[Symbol]	PROP UTILITY POLE
[Symbol]	EX LIGHT POLE
[Symbol]	PROP LIGHT POLE
[Symbol]	EX SIGN
[Symbol]	PROP SIGN
[Symbol]	EX MANHOLE
[Symbol]	PROP MANHOLE
[Symbol]	EX WATER VALVE
[Symbol]	PROP WATER VALVE
[Symbol]	EX LIGHT POLE
[Symbol]	EX BOLLARD
[Symbol]	EX STORM DRAIN
[Symbol]	EX SEWER MANHOLE
[Symbol]	PROP DECIDUOUS TREE
[Symbol]	PROP SHRUBS
[Symbol]	PROP GROUND COVER
[Symbol]	PROP LANDSCAPING BEDS TO BE DESIGNED IN FINAL DRAWINGS



SITE DEVELOPMENT DATA

- OWNERS:** HARFORD MALL BUSINESS TRUST
C/O CBL & ASSOCIATES
2092 HAMILTON PLACE BOULEVARD
SUITE 500
CHATTANOOGA, TN 37421
- DEVELOPER:** BEL AIR MARKETPLACE LLC
1115 HOWELL MILL ROAD NW
SUITE TTT
ATLANTA, GA 30318
- PROPERTY ADDRESS:** 600 BEL AIR RD
BEL AIR, MD 21014
- CURRENT ZONE:** B-3 (GENERAL BUSINESS DISTRICT)
- TAX:** 03-00402 & 03-401419
GRID: 304
DEED REF: 1
DEED PLAT: A1 & A2
5103/646 & 1512/514
212-04
EXISTING LOT ACREAGE:
LOT A1: 124.30 AC
LOT A2: 34.43 AC
TOTAL: 158.73 AC
- USE:**
EXISTING: MIXED USE, SHOPPING CENTER/ MULTIFAMILY RESIDENCE
PROPOSED: MIXED USE, SHOPPING CENTER
- BULK AND YARD REGULATIONS (ZONE B-3 - OTHER PERMITTED USE (MIXED USE)):**
MINIMUM SIDE SETBACK FROM RES. LOT: 10'
MINIMUM REAR SETBACK FROM RES. LOT: 30'
MINIMUM FRONT YARD DEPTH: 22'
MINIMUM SIDE YARD WIDTH: 0'
MINIMUM REAR DEPTH: 10'
MAXIMUM HEIGHT: 65'
- BUILDING COVERAGE:**
EXISTING: 172,220 SF (TO BE REMOVED)
PROPOSED: BUILDING 100 (PROPOSED GROCER) - 35,684 SF
BUILDING 200 (PROPOSED RESTAURANT/RETAIL) - 14,015 SF
BUILDING 300 (PROPOSED RESTAURANT/RETAIL) - 16,444 SF
BUILDING 600 (PROPOSED RESTAURANT/RETAIL) - 11,175 SF
TOTAL = 482,924 SF
- PHASE 3 PARKING REQUIREMENTS:**
PHASE 3 REQUIRED PARKING:
3.5 PARKING SPACES PER 1000 SQUARE FEET OF GROSS FLOOR AREA
82,924 SQUARE FEET / 1000 SQUARE FEET = 82.924
240 PARKING SPACES
240 X 3.5 = 840
PHASE 3 PROPOSED PARKING: 400 PARKING SPACES (INCLUDING 14 HANDICAP SPACES)
- MIXED USE CENTER PARKING REQUIREMENTS:**
SHOPPING CENTER:
REQUIRED: 3.5 SPACES PER 1000 GROSS SQUARE FEET
367,548 SF / 1000 SF = 367.548
367.548 X 3.5 = 1,286.418 PARKING SPACES REQUIRED
PROVIDED: 1,472 PARKING SPACES (INCLUDING 57 HANDICAP SPACES AND 10 SPACES FOR CART RETURNS)
TOTAL MIXED USE CENTER PARKING REQUIRED: 1,748 PARKING SPACES
TOTAL MIXED USE CENTER PARKING PROVIDED: 1,938 PARKING SPACES (INCLUDING 466 MULTI FAMILY SPACES)

PLANTING SCHEDULE

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	PLANTING SIZE/ CONDITIONS
MAJOR DECIDUOUS TREES				
AR	9	Acer rubrum 'October Glory'	October Glory Red Maple	2'-2.5' CAL. OR 12 HEIGHT/ B & B, SPACED AS SHOWN.
GT	15	Gleditsia triacanthos var. inermis	Thornless Honey Locust	2'-2.5' CAL. OR 12 HEIGHT/ B & B, SPACED AS SHOWN.
TC	20	Tilia cordata	Littleleaf Linden	2'-2.5' CAL. OR 12 HEIGHT/ B & B, SPACED AS SHOWN.
UA	15	Ulmus americana 'Princeton'	Princeton American Elm	2'-2.5' CAL. OR 12 HEIGHT/ B & B, SPACED AS SHOWN.
ZP	13	Quercus palustris	Pin Oak	2'-2.5' CAL. OR 12 HEIGHT/ B & B, SPACED AS SHOWN.
GS	14	Zelkova serrata 'Green Vase'	Green Vase Zelkova	2'-2.5' CAL. OR 12 HEIGHT/ B & B, SPACED AS SHOWN.
MINOR DECIDUOUS TREES				
CK	8	Cornus kousa	Kousa Dogwood	1.5' CAL. OR 8 HEIGHT/ B & B, SPACED AS SHOWN.
PY	12	Prunus x yadensis	Yoshino Cherry	1.5' CAL. OR 8 HEIGHT/ B & B, SPACED AS SHOWN.
SHRUBS				
AB	91	Abelia x grandiflora	Glossy Abelia	18" - 24" HT., #3 CONTAINER, 4' O.C. SPACING
EK	57	Evonymus klatkowschicus 'Manhattan'	Manhattan Evonymus	18" - 24" HT., #3 CONTAINER, 4' O.C. SPACING
HP	46	Hydrangea paniculata 'Candy Apple'	Candy Apple Hydrangea	24" - 30" HT., #5 CONTAINER, 6' O.C. SPACING
IM	76	Ilex x meserveae 'Blue Prince'	Blue Prince Holly	4.5- 5' HT., B & B, 6' O.C. SPACING
MS	12	Magnolia x soulangiana	Saucer Magnolia	4.5- 5' HT., B & B, AS SHOWN SPACING
PC	48	Pyracantha coccinea	Scarlet Firethorn	18" - 24" HT., #3 CONTAINER, 5' O.C. SPACING
RR	50	Rosa 'Radika'	Double Knock Out Rose	18" - 24" HT., #3 CONTAINER, 5' O.C. SPACING
TP	17	Thuja plicata x standishii 'Baby Giant'	Baby Giant Thuja Tree	4 - 5' HT., B & B, 5' O.C. SPACING
PERENNIALS/ GROUND COVER				
LM	80	Liriope muscari 'Big Blue'	Big Blue Liriope	#SP4 (1 QT.), 24" O.C. DIAGONAL SPACING
RF	110	Rudbeckia fulgida var. sullivantii 'Goldstrum'	Goldstrum Black-eyed Susans	#SP4 (1 QT.), 24" O.C. DIAGONAL SPACING

LANDSCAPE TABULATION

- STREET TREES (S165-58(A1))**
REQUIRED TREES ALONG VETERANS MEMORIAL HIGHWAY/ ROUTE 24:
PROVIDED TREES ALONG VETERANS MEMORIAL HIGHWAY/ ROUTE 24:
786 LF @ 1 TREE/ 40' = 20 MAJOR DECIDUOUS TREES
15 EXISTING MAJOR DECIDUOUS TREES
13 MAJOR DECIDUOUS TREES
28 TOTAL MAJOR DECIDUOUS TREES
- REQUIRED TREES ALONG BALTIMORE PIKE:**
418 LF @ 1 TREE/ 40' = 11 MAJOR DECIDUOUS TREES
13 MAJOR DECIDUOUS TREES
- PERIMETER LANDSCAPE BUFFERING (S165-54(B)(2))**
REQUIRED NON RESIDENTIAL PARKING USE TO RIGHT OF WAY = 3' BUFFER WIDTH AT 1 PLANTING UNIT/ 25 LINEAR FEET
1 MAJOR DECIDUOUS TREE = 1 PU
2 MINOR DECIDUOUS TREES = 1 PU
2 EVERGREEN TREES = 1 PU
10 SHRUBS = 1 PU
- REQUIRED ALONG VETERANS MEMORIAL HIGHWAY:**
PROPOSED ALONG BALTIMORE PIKE:
78 LF/ 25 LF = 1.0 PU REQUIRED
11 DECIDUOUS TREES = 0.5 PU
21 SHRUBS = 2.1 PU
TOTAL PLANTING UNITS = 2.6 PU
- REQUIRED ALONG BALTIMORE PIKE:**
PROPOSED ALONG BALTIMORE PIKE:
82 LF/ 25 LF = 3.3 PU REQUIRED
3 MINOR DECIDUOUS TREES = 1.5 PU
24 SHRUBS = 2.4 PU
TOTAL PLANTING UNITS = 3.4 PU
- PARKING LOT INTERIOR LANDSCAPING (S165-54(B)(2))**
REQUIRED: LANDSCAPE AREA SHALL EQUAL OR EXCEED 8% OF INTERIOR AREA
REQUIRED: 1156,854 SF X 8% = 112,548 SF OF INTERIOR LANDSCAPING
PROPOSED: 113,871 SF (8.8%)
- PARKING LOT SHADE TREES (S165-54(B)(3))**
REQUIRED MAJOR DECIDUOUS TREES @ PARKING INTERIOR: 1 MAJOR SHADE TREE PER 10 PARKING SPACES
REQUIRED: 400 PARKING SPACES / 10 PARKING SPACES = 40 SHADE TREE
PROPOSED: 60 SHADE TREES

SOILS CHART

SYMBOL	UNIT NAME	HYDRIC	K-VALUE	HYDRIC GROUP
M&B2	MONTALTO SILT LOAM 3% - 8% SLOPES	-	0.37	B

X = HYDRIC
I = INCLUSIONAL SOILS
K-VALUE > 0.35 = HIGHLY ERODIBLE

FINAL SITE PLAN OWNER CERTIFICATION I CERTIFY THAT I HAVE REVIEWED THIS SITE PLAN AND I AM AWARE OF THE BEL AIR DEVELOPMENT REGULATIONS AND I AGREE TO ATTEND THE IMPLEMENTATION IN CONFORMANCE WITH THE APPROVED FINAL SITE PLAN UPON COMPLETION OF INSTALLATION.		FINAL SITE PLAN ENGINEER CERTIFICATION IT IS CERTIFIED THAT THIS FINAL SITE PLAN IS IN COMPLIANCE WITH ALL TOWN OF BEL AIR DEVELOPMENT REGULATIONS INCLUDING PLANNING COMMISSION AND/OR ZONING ADMINISTRATOR CONDITIONS AT THE TIME THEREOF.		TOWN OF BEL AIR DEPARTMENT OF PLANNING APPROVED: _____ DIRECTOR DATE		TOWN OF BEL AIR DEPARTMENT OF PUBLIC WORKS APPROVED: _____ DIRECTOR DATE		TOWN OF BEL AIR PLANNING COMMISSION APPROVED: _____ CHAIRPERSON DATE	
SIGNATURE	DATE	SIGNATURE	DATE	SIGNATURE	DATE	SIGNATURE	DATE	SIGNATURE	DATE
PRINTED NAME	TITLE	PRINTED NAME	AFFIX SEAL	DIRECTOR	DATE	DIRECTOR	DATE	CHAIRPERSON	DATE

REVISIONS

NO.	DATE	DESCRIPTION
1	02/26/2025	REVISION TO LANDSCAPE PLAN PER TOWN OF BEL AIR CONTINUANCE LETTER DATED 08/02/25 AND REVISIONS PER EXHIBIT B.

DATE: 05/08/2025
SCALE: 1" = 40'
DESIGNED BY: KFP
DRAWN BY: KFP
CHECKED BY: TMM

DEVELOPER: BEL AIR MARKETPLACE LLC
1115 HOWELL MILL ROAD
SUITE 360
ATLANTA, GA 30318
ATTN: JEFF GARRISON
PHONE: (404) 550-9841

LANDSCAPE PLAN
HARFORD MALL REDEVELOPMENT PHASE 3
3RD ELECTION DISTRICT TOWN OF BEL AIR, MD

ARCHITECTS ENGINEERS PLANNERS SURVEYORS
FREDEK WARD ASSOCIATES
410.979.2070
fredekward.com
PO Box 1277, 3 South Main Street, Bel Air, Maryland 21014

DATE: 05/08/2025
DRAWING NO: LP01
SHEET 1 OF 2
PWA JOB NUMBER: 2221107.03

PLANTING NOTES

- ALL PLANT MATERIAL SHALL CONFORM TO THE SIZES GIVEN IN THE PLANT LIST AND SHALL BE NURSERY GROWN IN ACCORDANCE WITH THE "AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1," LATEST EDITION.
- ALL PLANTINGS SHALL BE IN ACCORDANCE WITH STANDARD AMERICAN ASSOCIATION OF NURSERYMEN PROCEDURES AND SPECIFICATIONS.
- CONTRACTOR AND OWNER'S REPRESENTATIVE SHALL VERIFY THE CORRECT LOCATION OF ALL UNDERGROUND UTILITIES IN THE FIELD PRIOR TO INSTALLATION OF ANY PLANT MATERIALS.
- PLANT MATERIAL LOCATION TO BE STAKED IN THE FIELD AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO PLANTINGS.
- ALL AREAS DISTURBED BY PLANTING OPERATIONS SHALL BE FINE GRADED AND SEEDED PER SEDIMENT EROSION CONTROL PLANS.
- OBTAIN APPROVAL FROM OWNER'S REPRESENTATIVE BEFORE MAKING ANY SUBSTITUTIONS OR CHANGES.
- QUANTITIES SHOWN ON PLANT LIST ARE FOR THE CONTRACTOR'S CONVENIENCE ONLY AND ARE NOT GUARANTEED TO BE ACCURATE. IN THE EVENT OF A DISCREPANCY BETWEEN QUANTITIES SHOWN ON THE PLAN AND QUANTITIES SHOWN ON THE PLANT LIST, THE QUANTITIES ON THE PLAN SHALL APPLY.
- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF TOWN OF BEL AIR, MD.
- GENERAL CONTRACTOR IS TO PROVIDE ALL MATERIALS AND LABOR INCLUDING PLANTS, PLANTER FILL MATERIALS, MULCHES, SOIL PREPARATION, DECORATIVE ITEMS, INSPECTION, AND TRANSPORTATION.
- SOIL ADDITIVES TO BE GRANULAR FERTILIZER OF A 1-1-1 RATIO. SOIL OUTSIDE RANGE OF 5.0 - 7.0 pH SHALL BE TREATED APPROPRIATELY TO CORRECT FOR HIGH ALKALINITY OR ACIDITY.
- THE USE OF ON-SITE TOPSOIL MUST BE APPROVED IN ADVANCE BY LANDSCAPE ARCHITECT.
- PROVIDE A WARRANTY ON ALL WORK FOR A MINIMUM OF TWO YEARS INCLUDING TWO CONTINUOUS GROWING SEASONS WITH 75% SURVIVABILITY. COMMENCE WARRANTY ON THE DATE IDENTIFIED IN THE CERTIFICATE OF SUBSTANTIAL COMPLETION. WARRANTY TO INCLUDE COVERAGE OF PLANTS FROM DEATH OR UNHEALTHY CONDITIONS. REPLACEMENT PLANTS SHALL BE THE SAME SIZE AND SPECIES AS SPECIFIED, PLANTED IN THE NEXT GROWING SEASON WITH A NEW WARRANTY COMMENCING WITH THE DATE OF THE REPLACEMENT. PLANTS SHALL BE INSTALLED WITHIN ONE YEAR OF PLANNING COMMISSION APPROVAL. ALSO, WITHIN ONE YEAR OF PLANTING, ANY DEAD OR DYING TREES OR PLANTS SHALL BE REPLACED BY THE APPLICANT DURING THE NEXT PLANTING SEASON PRIOR TO RELEASE OF ANY REQUIRED SURETY.
- MAINTAIN PLANT LIFE IMMEDIATELY AFTER PLACEMENT AND CONTINUE MAINTENANCE UNTIL TERMINATION OF WARRANTY. MAINTENANCE TO INCLUDE WEEDING, APPLICATIONS OF PESTICIDES, WATERING, TRIMMING AND PRUNING, DISEASE CONTROL, AND MAINTENANCE OF PLANT BRACING EQUIPMENT.
- PLANTING SOIL MIX:
 - CONTRACTOR SHALL PROVIDE PLANTING MIX ACCORDING TO THE FOLLOWING MIX RATIOS:
 - 75% SANDY LOAM TOPSOIL, pH SHALL BE BETWEEN 5.5 - 7.0, CONTAIN A MINIMUM 5% ORGANIC MATTER, SOLUBLE SALTS SHALL NOT EXCEED 3mm/CM, CALCIUM SHALL NOT EXCEED 2000 PARTS PER MILLION. TOPSOIL SHALL BE FREE OF NOXIOUS WEED SEEDS AND ROCKS OVER 1/2".
 - 25% LEAFGRO AS MANUFACTURED BY Maryland Environmental Service, 254 Najoles Road, Millersville, Maryland 21108, Attn: Procurement Division, Phone (410) 724-8510 Fax (410) 724-8280 OR AN APPROVED COMPOSTED LEAF MOLD.
 - THE PLANT MIXTURE SHALL BE MIXED MECHANICALLY IN BULK THEN BACKFILLED INTO THE PLANTERS TO THE DEPTHS DETAILED ON PLANS.
 - SOIL AMENDMENTS: PROVIDE OSMOCOTE FERTILIZER N14-P14-K14, 3-4 MONTH TIME RELEASE. APPLY TO PLANTER MIX AT A RATE OF 20LBS/1000 SQ FT OF PLANTING AREA. THOROUGHLY INCORPORATE INTO TOP 10 INCHES OF PLANTING SOIL DEPTH INCLUDING TREE PIT.
- NO TREES SHALL BE PLANTED WITHIN 10' OF THE SANITARY SEWER LATERAL OR WATER LINE.

NOTES

- BENCHMARK:

FHAM002 N:678512.88 E:4483947.95 ELEV:361.44'	FHAM006 N:677630.20 E:4483095.73 ELEV:361.50'	FHAM HP 23 N:677866.83 E:4484317.64 ELEV:358.44'
--	--	---
- ON-SITE EXISTING CONDITIONS/ TOPOGRAPHY AND PROPERTY BOUNDARY IS BASED ON FWA FIELD SURVEY.
- THERE IS NO MAPPED FLOOD PLAIN ON THIS PROPERTY ACCORDING TO FEMA MAP PANEL 24025C0163E, DATED 4/19/2016
- EASEMENT DOCUMENTS FOR ACCESS AND UTILITIES SHALL BE SUBMITTED PRIOR TO THE SUBMISSION OF A BUILDING PERMIT.
- NOTE TO STORMWATER MANAGEMENT:
 - ACCESS TO ALL STORMWATER MANAGEMENT PRACTICES INCLUDING ONES THAT ARE ON PRIVATE PROPERTY SHALL BE MADE AVAILABLE TO TOWN OF BEL AIR AT ALL TIMES DURING CONSTRUCTION AND FOR INSPECTION AFTER CONSTRUCTION IN PERPETUITY.
 - MAINTENANCE OF ALL STORMWATER FACILITIES (ONCE AS-BUILT DRAWINGS ARE APPROVED) IS THE RESPONSIBILITY OF THE PROPERTY OWNER.
- FINAL LOCATION OF FIRE HYDRANTS, VALVES, WATERLINES, SEWER LINES, PUMP STATIONS, ETC. SHALL BE DETERMINED DURING CONSTRUCTION DRAWINGS.
- BEL AIR VOLUNTEER FIRE COMPANY WILL BE CONTACTED FOR FIRE HYDRANT REPLACEMENTS.
- ALL BUILDINGS SHALL HAVE A KNOX KEY BOX FOR FIRE/EMS PERSONNEL ACCESS TO BUILDINGS AS REQUIRED BY CODE.
- THERE ARE NO REGULATORY WETLANDS OR WATERCOURSES ON SITE.
- SEPARATE UTILITY (WATER & SEWER), STORMWATER, AND SEDIMENT CONTROL PLANS WILL BE REQUIRED.
- REFER TO SEPARATE LANDSCAPE PLANS FOR FURTHER INFORMATION.
- DEMOLITION PERMITS WILL BE OBTAINED AND HEALTH DEPARTMENT REQUIREMENTS WILL BE FOLLOWED.
- FUTURE FOOD SERVICE OPERATIONS WILL BE REVIEWED AND APPROVED BY THE HARFORD COUNTY HEALTH DEPARTMENT.
- DURING DEMOLITION AND CONSTRUCTION, WHEN SOIL MOISTURE CONDITIONS ARE LOW, DUST CONTROL MEASURES WILL BE IMPLEMENTED.
- ADDITIONAL HEALTH DEPARTMENT COMMENTS WILL BE ADDRESSED AT THE TIME OF BUILDING PERMIT OR CERTIFICATE OF OCCUPANCY REVIEW.
- AN ADEQUATE SEDIMENT AND EROSION CONTROL PLANS WILL BE PREPARED AND APPROVED IN ACCORDANCE WITH THE CURRENT STANDARDS.
- THE SEDIMENT AND EROSION CONTROL PLAN WILL BE INTEGRATED WITH THE STORMWATER MANAGEMENT STRATEGY.
- REVIEW FEES WILL BE PAID PRIOR TO FINAL PLAN REVIEW.
- MARYLAND TIER II HIGH QUALITY WATERSHED REQUIREMENTS WILL BE MET.
- A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) NOTICE OF INTENT (NOI) WILL BE OBTAINED PRIOR TO CONSTRUCTION.
- A VEHICULAR CIRCULATION AND SIGNAGE PLAN WILL BE PROVIDED WITH FINAL DRAWINGS.

ART AMENITY DESIGN

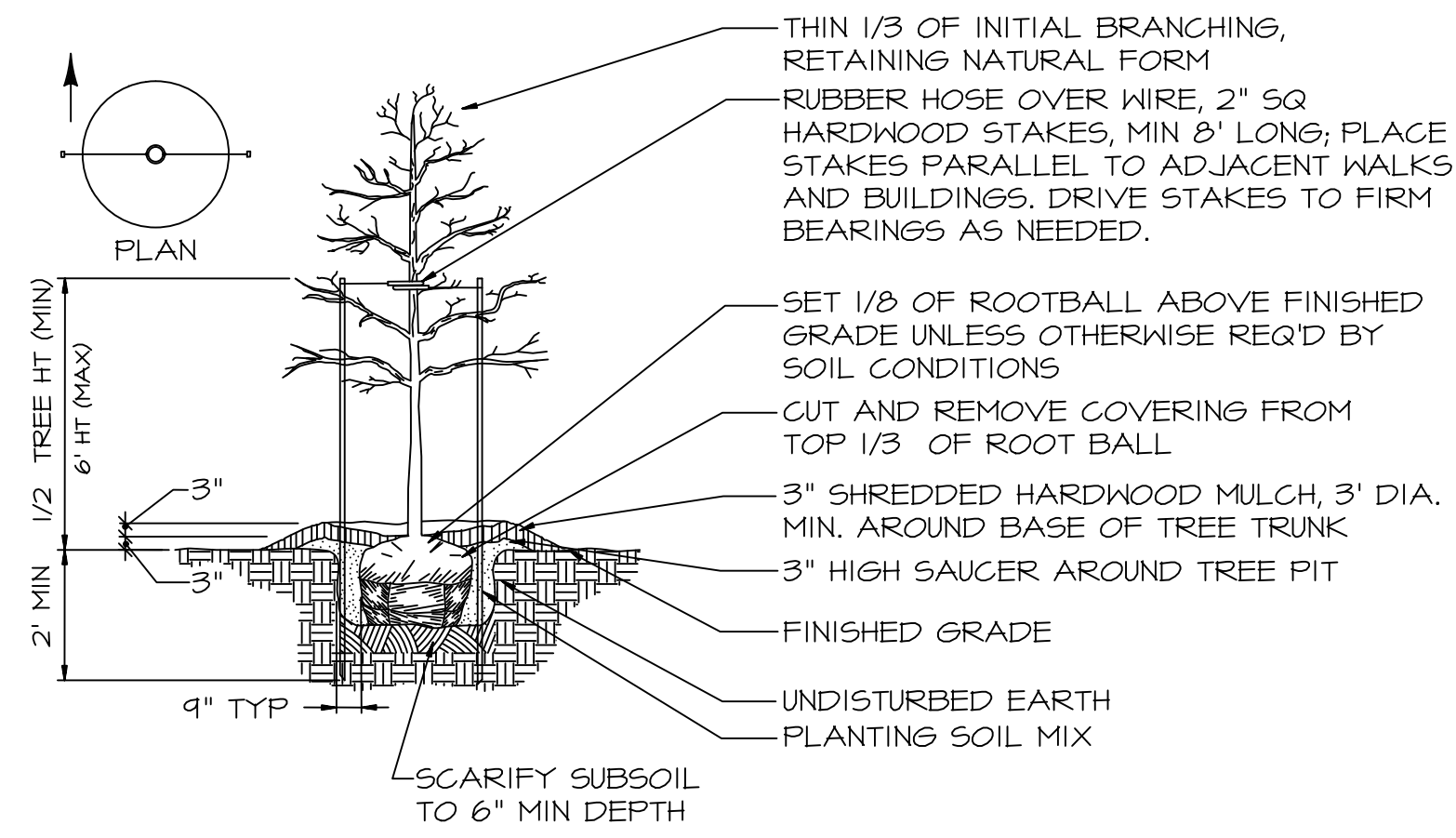
PER SECTION 165-114, E. 1, B. OF THE TOWN OF BEL AIR CODE, THE OPPORTUNITY FOR THE CREATION OF RECREATIONAL, CULTURAL AND ARTISTIC RESOURCES IS DIMINISHED AS LAND IS DEVELOPED. AS THESE OPPORTUNITIES ARE DIMINISHED, THE NEED TO DEVELOP ALTERNATE SOURCES FOR RECREATIONAL, CULTURAL AND ARTISTIC ASSETS IS INCREASED. THE DEVELOPMENT OF THESE ASSETS SHOULD BE FINANCED BY THOSE WHOSE DEVELOPMENT DIMINISHES THE AVAILABILITY OF THE COMMUNITY'S RESOURCES FOR THOSE OPPORTUNITIES AND CONTRIBUTES TO COMMUNITY URBANIZATION. FOR THIS REASON, AN AMOUNT EQUAL TO OR GREATER THAN 1/2% OF THE BUILDING COST FOR ALL NONRESIDENTIAL DEVELOPMENT IN EXCESS OF 10,000 SQUARE FEET SHALL BE SET ASIDE FOR THE INCLUSION OF PUBLIC ART, A PUBLIC SQUARE, PASSIVE OPEN SPACE OR A PARK AMENITY. THE TOTAL AMOUNT SHALL NOT EXCEED \$10,000 PER PROJECT.

A MURAL IS PROPOSED ON SITE AND NOTED ON THE PLAN.

LANDSCAPE COST ESTIMATE*

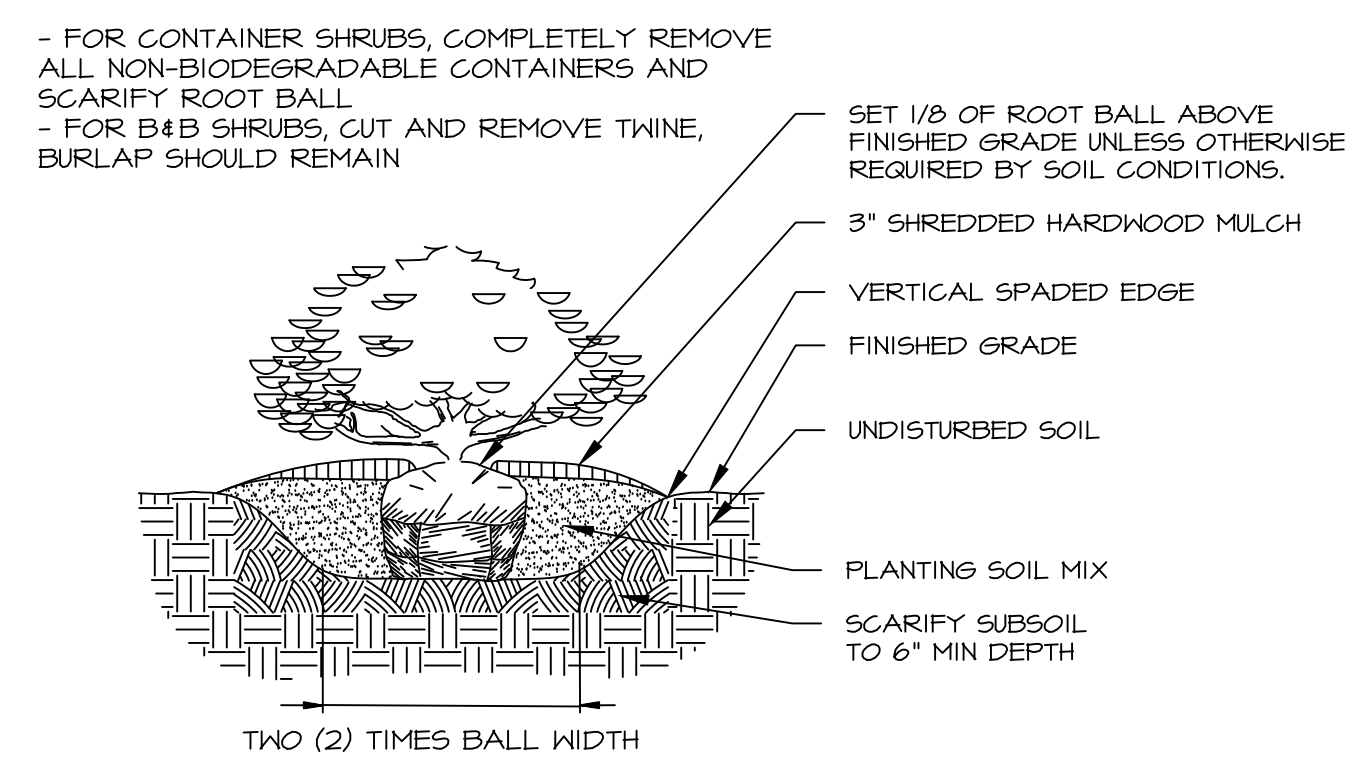
MAJOR DECIDUOUS TREES	06	0	\$400/TREE	=	\$34,400
MINOR DECIDUOUS TREES	20	0	\$250/TREE	=	\$5,000
SHRUBS	425	0	\$10/SHRUB	=	\$4,250
			TOTAL	=	\$59,650

- ESTIMATE INCLUDES THE COST OF MATERIALS, INSTALLATION, AND MAINTENANCE.
 - COST ESTIMATE INCLUDES PLANTINGS FOR PHASE 3 OF THE HARFORD MALL REDEVELOPMENT
- * ESTIMATE IS FOR TOWN OF BEL AIR BONDING PURPOSES ONLY AND SHOULD NOT BE USED AS A CONSTRUCTION COST ESTIMATE.



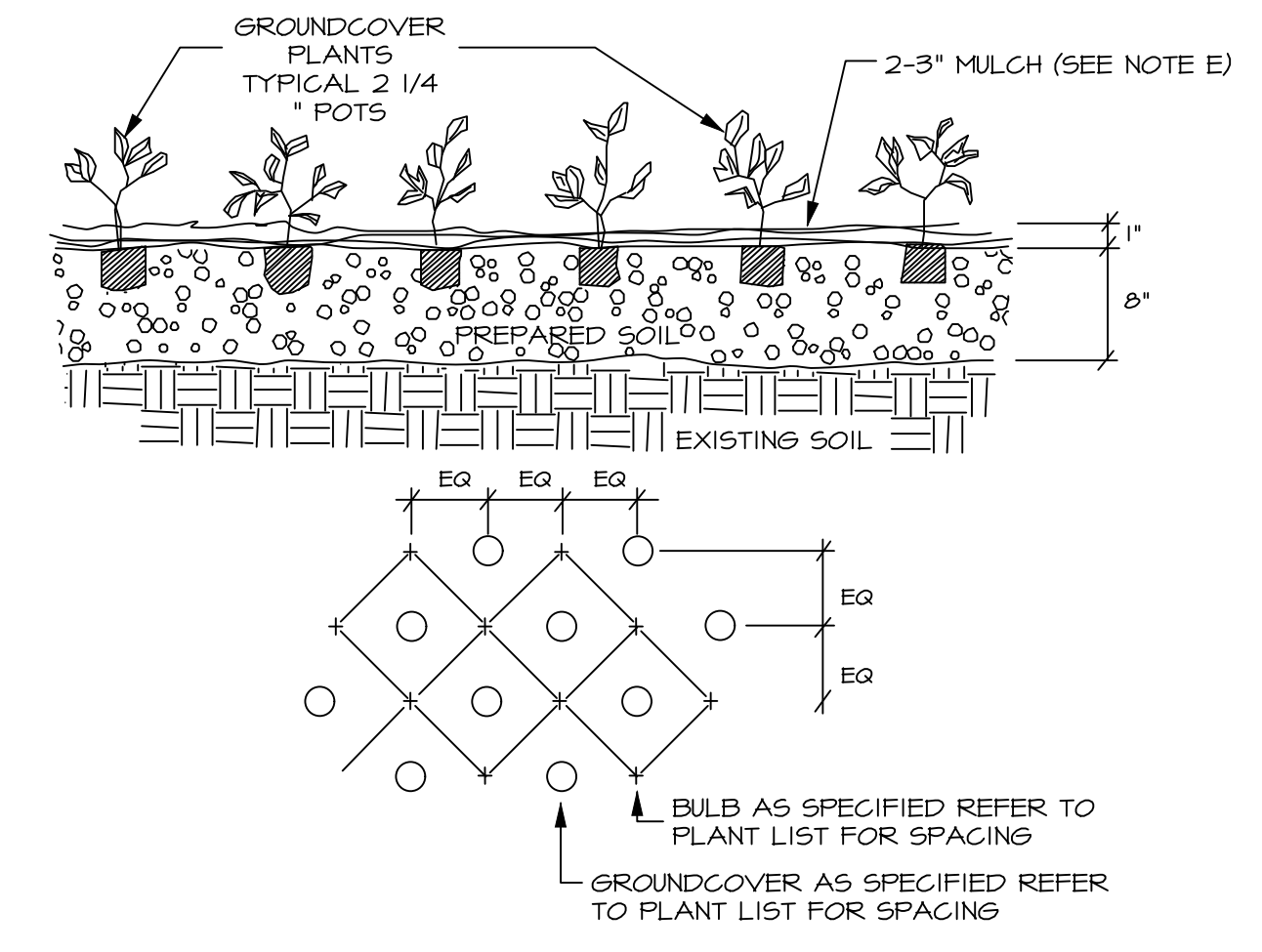
DECIDUOUS TREE PLANTING DETAIL

SCALE: NTS



SHRUB PLANTING DETAIL

SCALE: NTS



GROUNDCOVER PLANTING DETAIL

SCALE: NTS

REVISIONS	DESCRIPTION
1	REVISION TO LANDSCAPE PLAN PER TOWN OF BEL AIR CONTINUANCE LETTER DATED 08/08/2025 AND REVISIONS PER EXHIBIT B.
DATE	08/08/2025
NEW	1

ARCHITECTS ENGINEERS PLANNERS SURVEYORS
FREDERICK WARD ASSOCIATES
 410.979.7040
 frederickward.com
 PO Box 177, 3 South Main Street, Bel Air, Maryland 21014

DEVELOPER
 SJC VENTURES
 1115 HOWELL MILL ROAD
 SUITE 360
 ATLANTA, GA 30318
 ATTN: JEFF GARRISON
 PHONE: (404) 550-9841

LANDSCAPE NOTES & DETAILS
HARFORD MALL REDEVELOPMENT PHASE 3
 3RD ELECTION DISTRICT TOWN OF BEL AIR, MD

DATE	05/08/2025	DRAWING NO.	LP02
SCALE	1" = 40'		
DESIGNED BY	KFP		
DRAWN BY	KFP	SHEET 2 OF 2	
CHECKED BY	TMM	FWA JOB NUMBER	2221107.03

M:\PROJECTS\2221107-03 HARFORD MALL REDEVELOPMENT PHASE 3\DESIGN\ENGINEERING\PLAN SET\PLANNING COMMISSION\REVISED LP LANDSCAPE PLAN HARFORD MALL PHASE 3.DWG, LDC, 05/08/2025 14:43 MAM\9848

<p>FINAL SITE PLAN OWNER CERTIFICATION</p> <p>I CERTIFY THAT I HAVE REVIEWED THIS SITE PLAN AND I AM AWARE OF THE BEL AIR DEVELOPMENT REGULATIONS AND I AGREE TO ATTEND THE IMPLEMENTATION IN CONFORMANCE WITH THE APPROVED FINAL SITE PLAN UPON COMPLETION OF INSTALLATION.</p> <p>SIGNATURE: _____ DATE: _____</p> <p>PRINTED NAME: _____ TITLE: _____</p>	<p>FINAL SITE PLAN ENGINEER CERTIFICATION</p> <p>IT IS CERTIFIED THAT THIS FINAL SITE PLAN IS IN COMPLIANCE WITH ALL TOWN OF BEL AIR DEVELOPMENT REGULATIONS INCLUDING PLANNING COMMISSION AND/OR ZONING ADMINISTRATOR CONDITIONS ATTHERENT THERETO.</p> <p>SIGNATURE: _____ DATE: _____</p> <p>PRINTED NAME: _____ AFFIX SEAL: _____</p>	<p>TOWN OF BEL AIR DEPARTMENT OF PLANNING</p> <p>APPROVED: _____</p> <p>DIRECTOR DATE</p>	<p>TOWN OF BEL AIR DEPARTMENT OF PUBLIC WORKS</p> <p>APPROVED: _____</p> <p>DIRECTOR DATE</p>	<p>TOWN OF BEL AIR PLANNING COMMISSION</p> <p>APPROVED: _____</p> <p>CHAIRPERSON DATE</p>
---	--	--	--	--